

23. November 2021

**Objection to Planning Application
21/01657/FULH**

Dear Sir/Madam,

Thank you for your letter informing us of the application for a building extension at 179 Cassiobury Drive.

On seeing the drawings, our initial reaction is one of shock and dismay.

Several months ago, our neighbours had informed us of their intention and this was just to extend on the 177 side and we were told that it would not affect us.

Clearly that was not true.

We were under the impression that any extension would be just the ground floor as other people have done in the same part of the road.

What we definitely hadn't expected was this to be an extension of the whole rear two floors of the house for its full width right up to our boundary with a ground floor extension beyond that. Earlier plans (which we had not seen) did partially take into consideration light loss.

There has been no communications from the neighbours at all about this and no one has been to show the impact of the plan.

The obvious impact will be the significant loss of light to the ground floor kitchen and breakfast room, the first floor bathroom and toilet, and to some extent the landing area. This will be particularly noticeable from October to February with the low sun and generally in the mornings. The whole area from the kitchen door to the outside patio will be made dark.

There will be a significant detrimental visual impact from the rear of 181 with a view of just a large wall. This is compounded by the ground at 179 being higher than at 181. Supporting diagrams are provided with this document.

Having lived in 181 for over 53 years, this is the last thing that we have expected. In the past, Cassiobury residents have had to abide by a building code that would not have permitted such an extension.

When a utility room was added to 181 it was discussed with the neighbours and built lower down out of consideration for the neighbours. A further extension did not go beyond the upper floor rear building line.

We therefore kindly request that this application is NOT approved.

Yours Faithfully,

Mr W.S. Paterson

Mrs M.D. Paterson

Dr. A.M. Paterson

This document is available at www.wadizaytoon.org/WBC179PlanningApplication20211123.pdf

Supporting Diagrams

View looking North from 177 towards 179 and 181

Current



Proposed (estimated)



Note how the proposal will block the SE side of 181.

View from 185 showing how imposing the 183 extension is



The side passage of 185 is wider than 181's passage so 183's extension is further from 185.

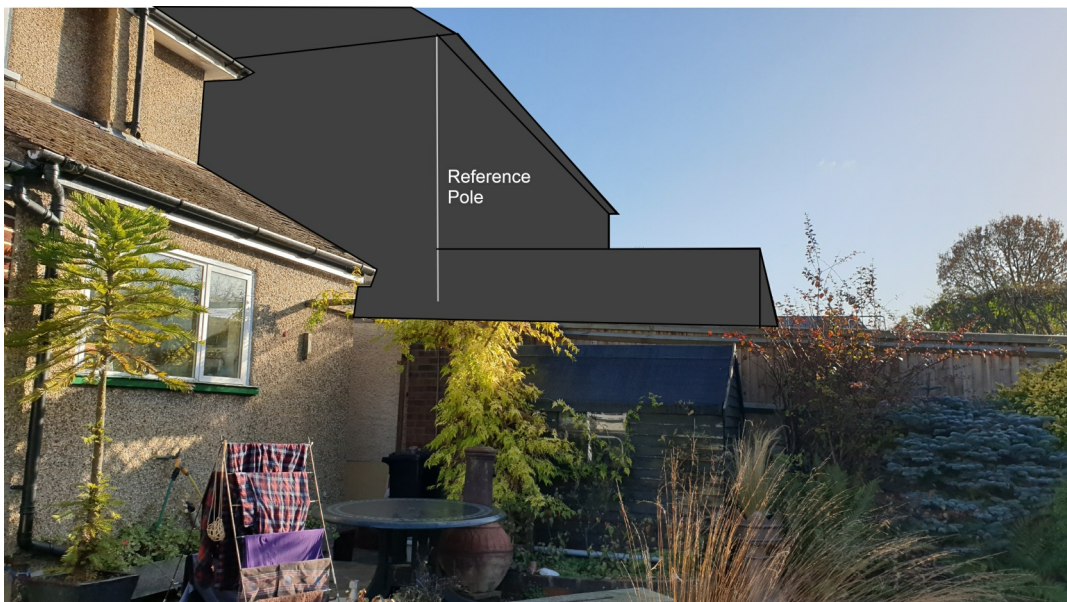


View looking South South East from 181 towards 179

Current



Proposed (estimated)



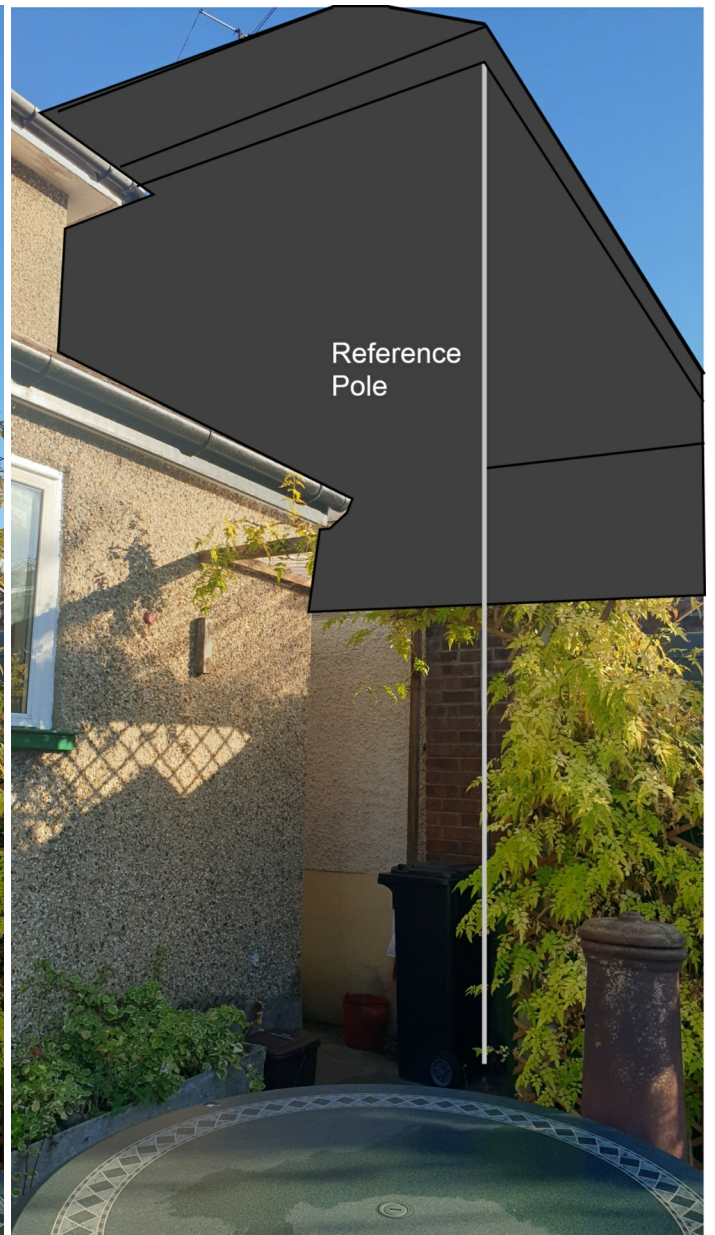
The proposal adds a very imposing view.

View looking South South East from 181 towards 179

Current



Proposed (estimated)

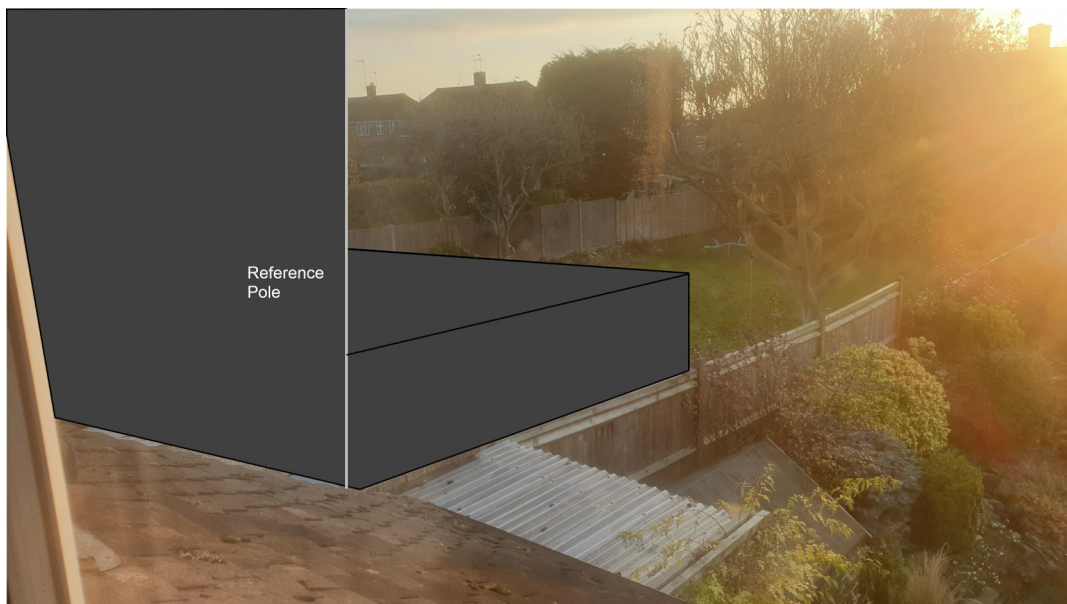


View looking South from First Floor Bedroom

Current



Proposed (estimated)

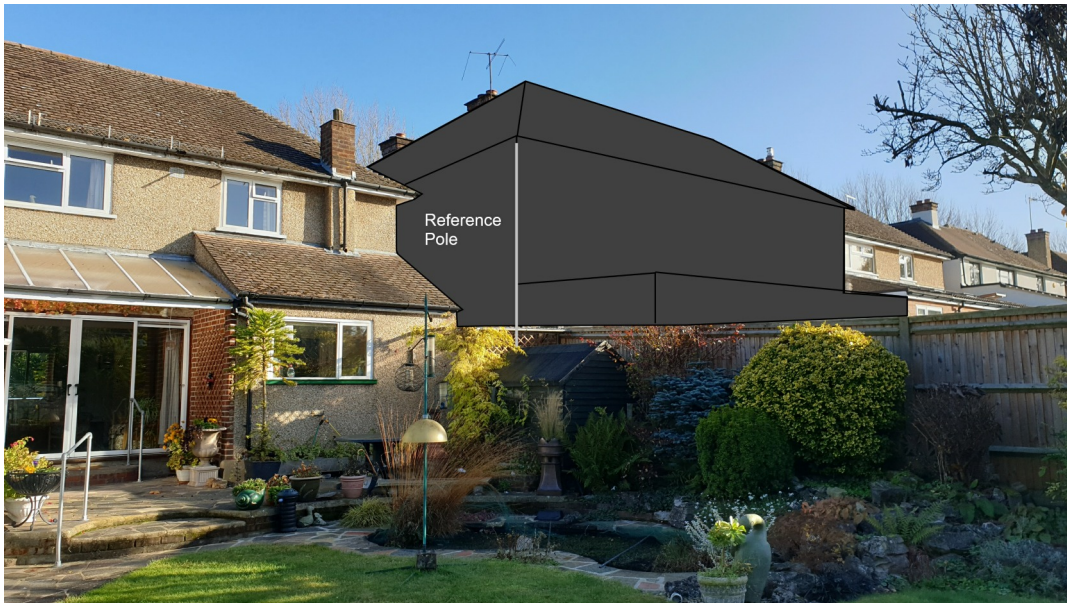


View looking East from Garden

Current



Proposed (estimated)



Interior Views

Bathroom



It is the 2500mm extension to the rear that will cause most light loss problems here.

Landing, Toilet and Bathroom



This will become much darker

Interior Views

Breakfast room



**Already has reduced light due to existing extension.
Top of extension and main roof form 45 degree line with window.**



Kitchen Door

**Loss of light due to extra floor being built
above.**